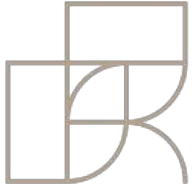


INTERIOR DESIGN:



RESIDE DESIGN STUDIO INC.  
23369 72 AVENUE  
LANGLEY BC, V1M 3L1  
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GENERAL NOTES:

- ALL WORKMANSHIP AND METHODS OF CONSTRUCTION TO MEET REQUIREMENTS OF THE CURRENT EDITION OF THE BRITISH COLUMBIA BUILDING CODE.
- ALL CONTRACTORS/TRADES SHALL VERIFY ON SITE CONDITIONS, DIMENSIONS, DETAILS, AND SPECIFICATIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER BEFORE PROCEEDING WITH WORK.
- DO NOT SCALE THESE DRAWINGS, THESE REMAIN THE PROPERTY OF RESIDE DESIGN STUDIO INC.
- INSTALL ALL SPECIFIED PRODUCTS AS PER MANUFACTURERS RECOMMENDED INSTALLATION METHODS AND PROCEDURES.
- ALL COLORS OR MATERIALS MUST BE CONFIRMED BY CLIENT ON SITE. COLORS MUST BE SHOWN ON CORRECT MATERIAL SPECIFIED FOR APPROVAL.
- ANY CHANGES MADE AFTER DIGITAL SUBMISSION HAS BEEN PROVIDED TO CLIENT WILL BE CHARGED AS EXTENSION ON AN HOURLY BASIS.
- FOR ANY DISCREPANCIES PLEASE CONTACT DESIGNER.
- DETAILS AND INFORMATION REGARDING EXACT MATERIALS, FIXTURES AND FINISHES CAN BE FOUND IN THE MATERIAL/FIXTURE SELECTION BINDER PROVIDED BY DESIGNER.
- CLIENT TO ENSURE ALL APPLIANCE SPECIFICATIONS ARE PROVIDED TO THE CABINET MAKER TO ENSURE CABINETRY IS MADE AS PER MANUFACTURER INSTALLATION SPECIFICATIONS.

DEMOLITION NOTES:

- OVERALL**
- CARPET ON STAIRS TO REMAIN.
  - STAIR RAILING, SPINDLES AND BASE MOULDINGS (RISER & TREAD) OF RAILING TO BE REMOVED.
  - ALL FLOORING TO BE REMOVED THROUGHOUT MAIN FLOOR.
  - ALL BASEBOARDS THROUGHOUT MAIN FLOOR TO BE REMOVED.
  - ALL EXISTING WINDOW CASINGS TO REMAIN THROUGHOUT.
  - VERTICAL FLATSTOCK PIECES OF DOOR CASINGS IN AREAS TO RECEIVE NEW FLOORING MAY NEED TO BE REMOVED DUE TO CHANGE IN FLOOR HEIGHT FROM OLD TO NEW, TO BE ASSESSED ON SITE. PREFERENCE IS TO PRESERVE EXISTING.
  - ALL LIGHT FIXTURES THROUGHOUT MAIN FLOOR TO BE REMOVED. CARE TO BE TAKEN WHEN REMOVING FIXTURES TO NOT DAMAGE THE EXISTING CEILING.
  - ALL RECESSED LIGHTS TO BE REMOVED.

**ENTRY/OFFICE**

- EXISTING OFFICE ENTRY DOOR TO BE REMOVED AND OPENING TO BE MADE WIDER AS NOTED ON PLAN.

**POWDER ROOM**

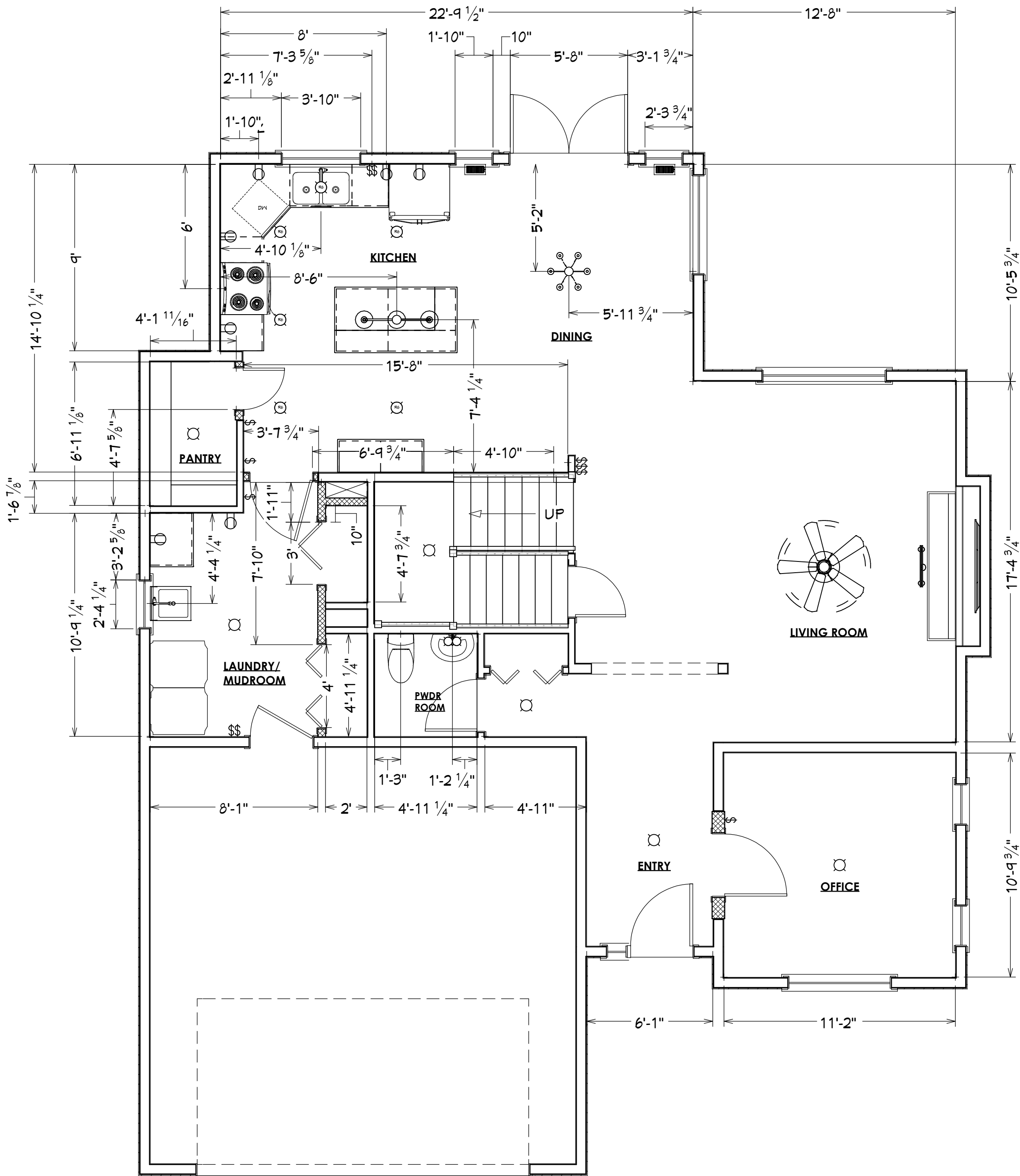
- SINK, FAUCET, MIRROR, LIGHT FIXTURE AND TOILET TO BE REMOVED.
- TOILET PAPER HOLDER AND TOWEL HOLDER TO BE REMOVED.

**KITCHEN**

- ALL CABINETRY, COUNTERTOPS AND BACKSPLASH IN KITCHEN TO BE REMOVED.
- KITCHEN SINK AND SINK FAUCET TO BE REMOVED.
- EXISTING REFRIGERATOR TO REMAIN, LOCATION TO BE ADJUSTED AS PER PROPOSED PLAN.
- EXISTING DISHWASHER, RANGE AND HOOD FAN TO BE REMOVED.
- PANTRY ENTRY DOOR TO BE REMOVED AND OPENING TO BE ADJUSTED AS PER PROPOSED PLAN AND ELEVATION.
- PANTRY SHELIVING TO BE REMOVED.

**LAUNDRY/MUDROOM**

- ALL CABINETRY AND COUNTERTOPS TO BE REMOVED.
- SINK AND SINK FAUCET TO BE REMOVED.
- EXISTING WASHER AND DRYER TO BE KEPT AND REINSTALLED.
- EXISTING CLOSETS TO BE REMOVED AS NOTED ON PLAN.
- LAUNDRY ENTRY DOOR TO BE REMOVED AND OPENING TO BE ADJUSTED AS PER PROPOSED PLAN AND ELEVATION.



1  
ID 1  
EXISTING/DEMOLITION PLAN: MAIN FLOOR  
SCALE: 1/4" = 1' - 0"

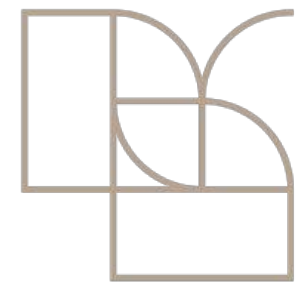
DRAWING TITLE:

ROUGH BUDGET DRAWINGS  
(MAIN FLOOR - PHASE 1)

CLIENT INFORMATION:

BRENT & STEPHANIE CROSS  
5639 CEDARCREEK DRIVE, CHILLIWACK BC

RESIDE  
DESIGN STUDIO



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ID-1

REVISION NUMBER

SET 1

PROPOSED NOTES:

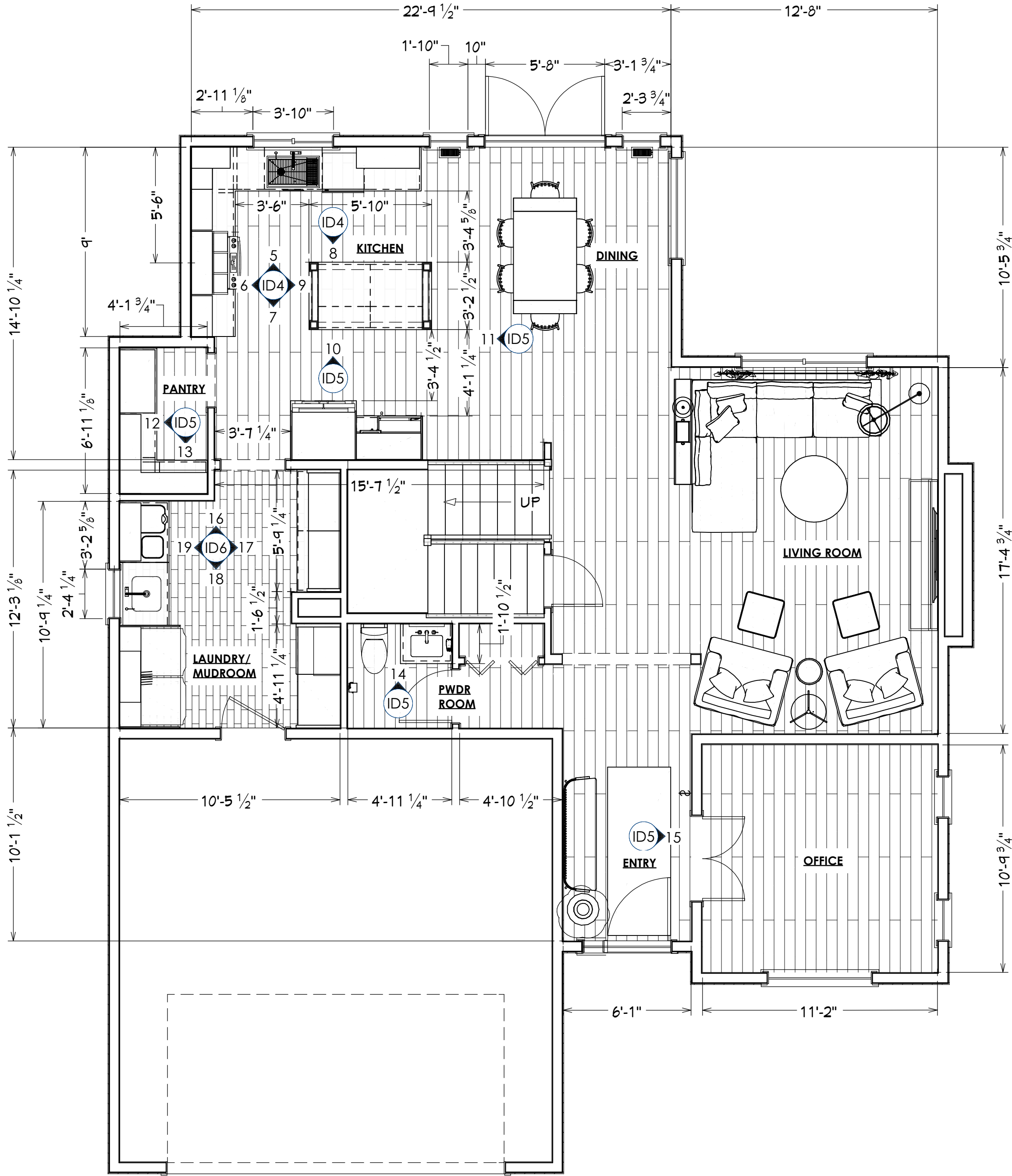
- OVERALL**
- CARPET ON STAIRS TO REMAIN.
  - NEW WHITE OAK STAIR RAILING, WHITE OAK BASE MOULDINGS (RISER & TREAD) OF RAILING AND BLACK METAL SPINDLES TO BE INSTALLED. SEE 3D RENDER.
  - NEW LAMINATE FLOORING TO BE INSTALLED THROUGHOUT MAIN FLOOR WITH EXCEPTION TO THE LAUNDRY/MUDROOM SPACE.
  - NEW TILE FLOORING TO BE INSTALLED IN LAUNDRY/MUDROOM SPACE.
  - NEW BASEBOARDS TO BE INSTALLED THROUGHOUT THE MAIN FLOOR.
  - NEW FLATSTOCK TO BE INSTALLED FOR DOOR CASINGS SHOULD THE NEW FLOORING HEIGHT BE LESS THAN EXISTING FLOORING. TO BE ASSESSED ON SITE. PREFERENCE IS TO PRESERVE EXISTING.
  - ALL NEW LIGHT FIXTURES THROUGHOUT MAIN FLOOR TO BE INSTALLED. SEE ELECTRICAL PLAN FOR MORE DETAILS.
  - ALL NEW RECESSED LIGHTS TO BE INSTALLED THROUGHOUT MAIN FLOOR.
  - PAINTING OF ALL WALLS AND MOULDINGS TO BE COMPLETED BY CLIENT WITH EXCEPTION TO POWDER ROOM.
  - CERTAIN SWITCHES AND ELECTRICAL RECEPTACLES TO BE EITHER MOVED OR DELETED. SEE DEMOLITON PLAN AND ELECTRICAL PLAN FOR DETAILS.
  - NEW ELECTRICAL RECEPTACLES TO BE ADDED IN CERTAIN AREAS. SEE ELECTRICAL PLAN FOR DETAILS.

- ENTRY/OFFICE**
- NEW 48"W X 80"H GLASS FRENCH DOORS TO BE INSTALLED FOR OFFICE ENTRY. SEE ELEVATION.

- POWDER ROOM**
- NEW STAINED WHITE OAK VANITY CABINET AND QUARTZ COUNTERTOP TO BE INSTALLED.
  - NEW MIRROR AND LIGHT FIXTURE TO BE INSTALLED.
  - NEW SINK, FAUCET, AND TOILET TO BE INSTALLED.
  - NEW TOILET PAPER HOLDER AND HAND TOWEL HOLDER TO BE INSTALLED.
  - WALLS, CEILING, MOULDINGS, AND DOOR IN POWDER ROOM TO BE PAINTED.

- KITCHEN**
- ALL NEW CABINERY TO BE INSTALLED IN KITCHEN. TO BE BIRCH VENEER, PLYWOOD BOXES WITH PAINTED MDF DOOR AND DRAWER FRONTS.
  - DROP CEILING TO BE FRAMED ABOVE NEW ISLAND LOCATION. SEE PLAN AND ELEVATIONS.
  - ALL NEW QUARTZ COUNTERTOPS TO BE INSTALLED.
  - ALL NEW MOSIAC TILE BACKSPLASH IN KITCHEN TO BE INSTALLED.
  - NEW UNDERMOUNT KITCHEN SINK AND SINK FAUCET TO BE INSTALLED.
  - EXISTING REFRIGERATOR TO BE REINSTALLED IN NEW LOCATION.
  - NEW WINE FRIDGE, DISHWASHER, RANGE AND HOOD FAN TO BE INSTALLED.
  - NEW ARCH OPENING INTO PANTRY TO BE FRAMED. SEE ELEVATION.
  - NEW CABINERY TO BE INSTALLED IN PANTRY.
  - TO BE BIRCH VENEER, PLYWOOD BOXES WITH PAINTED MDF DOOR AND DRAWER FRONTS.

- LAUNDRY/MUDROOM**
- ALL NEW CABINERY TO BE INSTALLED IN KITCHEN. TO BE BIRCH VENEER, PLYWOOD BOXES WITH PAINTED MDF DOOR AND DRAWER FRONTS.
  - BEADBOARD TO BE INSTALLED ALONG MUDROOM BENCH SIDE. SEE ELEVATION.
  - HANGING ROD TO BE INSTALLED ABOVE WASHER AND DRYER. SEE ELEVATION.
  - STAIN GRADE, WHITE OAK BENCH TOP, SHELF ABOVE COMMAND CENTER COUNTERTOP AND SHELF ABOVE HANGING ROD TO BE INSTALLED.
  - ALL NEW QUARTZ COUNTERTOPS TO BE INSTALLED WITH QUARTZ BACKSPLASH IN SOME AREAS. SEE ELEVATIONS.
  - NEW UNDERMOUNT SINK AND SINK FAUCET TO BE INSTALLED.
  - EXISTING WASHER AND DRYER TO BE KEPT AND REINSTALLED.
  - NEW CEILING AND PORTIONS OF WALLS TO BE DRYWALLED, TAPED, MUDDED AND SANDED READY FOR PAINT DUE TO REMOVAL OF CLOSETS.
  - NEW CEILING TO BE PAINTED BY CONTRACTOR.
  - WALLS AND MOULDINGS TO BE PAINTED BY CLIENT.
  - NEW ARCH OPENING INTO LAUNDRY/MUDROOM FROM KITCHEN TO BE FRAMED. SEE ELEVATION.



2  
ID 2 PROPOSED PLAN: MAIN FLOOR  
SCALE: 1/4" = 1' - 0"

DRAWING TITLE:

ROUGH BUDGET DRAWINGS  
(MAIN FLOOR - PHASE 1)

CLIENT INFORMATION:

BRENT & STEPHANIE CROSS  
5639 CEDARCREEK DRIVE, CHILLIWACK BC



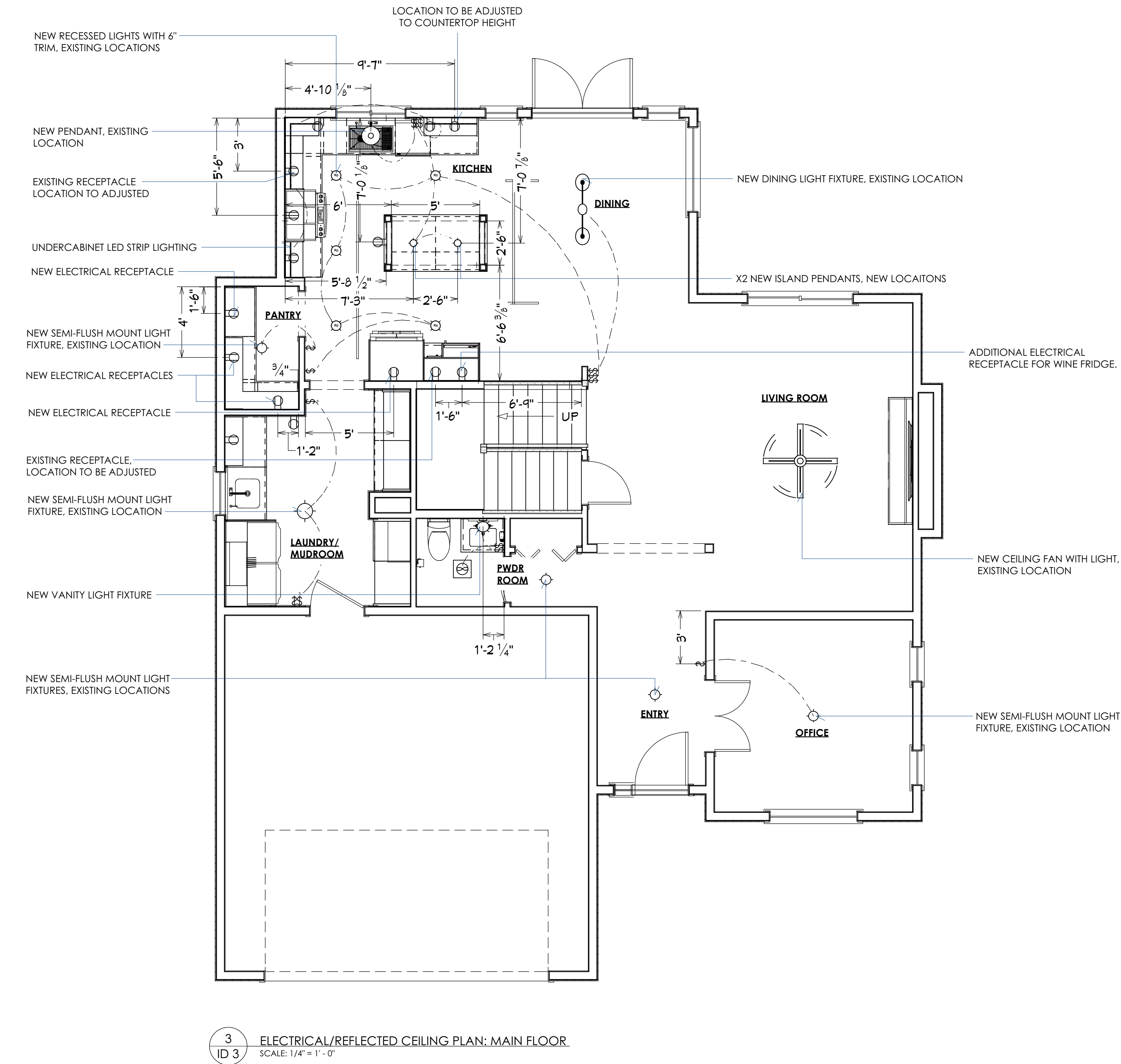
SHEET NUMBER

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REVISION NUMBER

SET 1





## ELECTRICAL NOTES:

**\*\*ALL ADDITIONAL ELECTRICAL AND/OR ELECTRICAL CHANGES NOTED ON PLAN, ALL OTHER EXISTING ELECTRICAL TO REMAIN AS IS.\*\***

**ENTRY**  
• NEW SEMI-FLUSH LIGHT FIXTURE TO BE INSTALLED IN EXISTING LOCATION.

**ENTRY HALLWAY**  
• NEW SEMI-FLUSH LIGHT FIXTURE TO BE INSTALLED IN EXISTING LOCATION.

**OFFICE**  
• NEW SEMI-FLUSH LIGHT FIXTURE TO BE INSTALLED IN EXISTING LOCATION.  
• SWITCH FOR LIGHT FIXTURE TO BE MOVED FROM INSIDE THE OFFICE TO OUTSIDE THE OFFICE IN THE ENTRYWAY. NEW LOCATION NOTED ON ELECTRICAL PLAN.

**POWDER ROOM**  
• NEW WALL MOUNTED LIGHT FIXTURE TO BE INSTALLED ABOVE MIRROR. SEE ELEVATION.

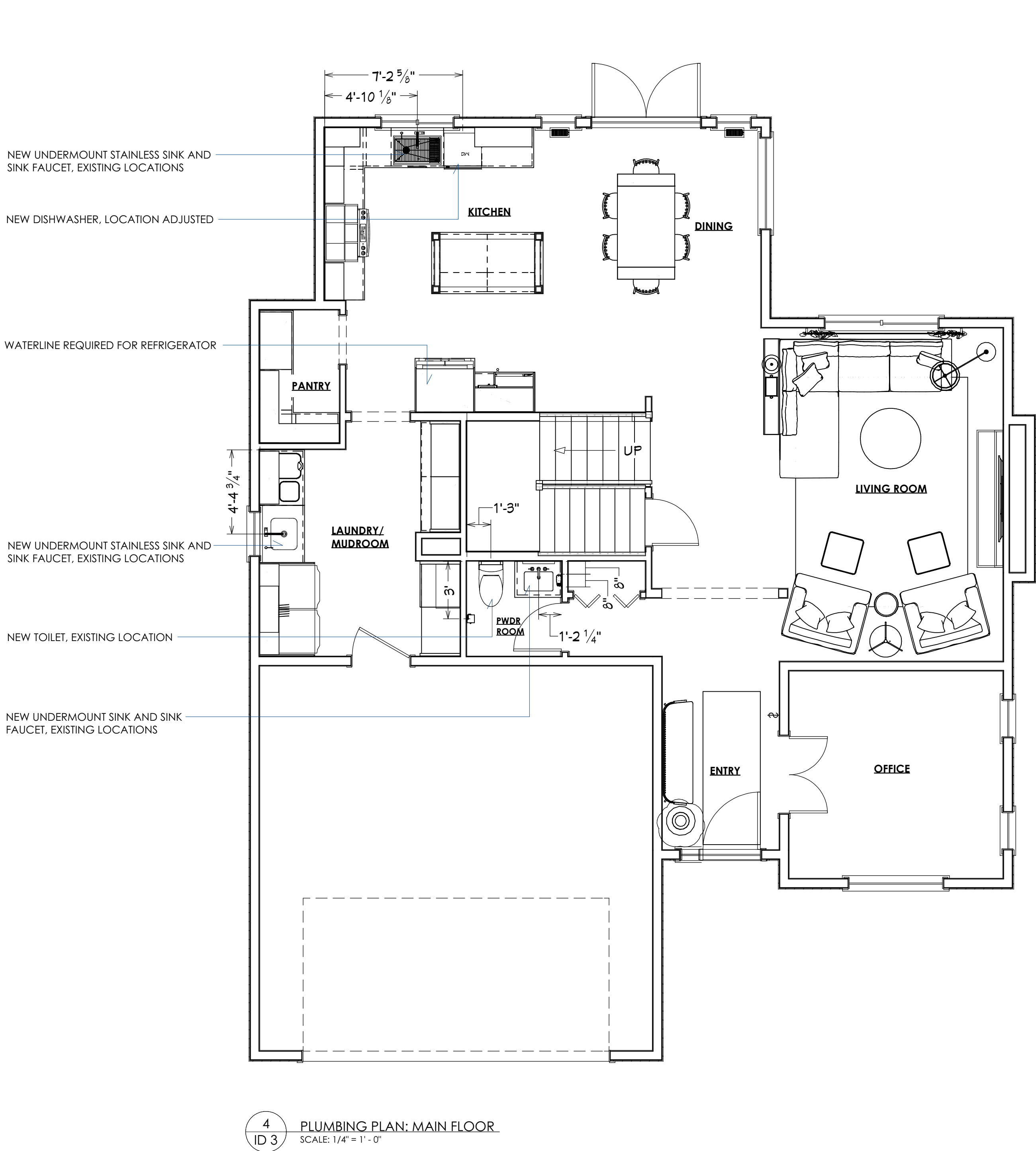
**KITCHEN**  
• X2 PENDANTS TO BE INSTALLED ON DROP CEILING ABOVE ISLAND.  
• X1 PENDANT TO BE INSTALLED ABOVE SINK IN EXISTING LOCATION OF CURRENT RECESSED LIGHT.  
• X5 NEW RECESSED LED LIGHT FIXTURES TO BE INSTALLED IN EXISTING LOCATIONS. 6" TRIM REQUIRED.  
• X1 DINING ROOM CHANDELIER TO BE INSTALLED.

**KITCHEN (CONTD)**  
• NEW UNDERCABINET LED STRIP LIGHTING TO BE INSTALLED. NEW SWITCH REQUIRED, LOCATION NOTED ON PLAN.  
• ELECTRICAL RECEPTACLE TO THE RIGHT SIDE OF THE RANGE TO BE SHIFTED. NEW LOCATION NOTED ON PLAN.  
• EXISTING ELECTRICAL RECEPTACLE FOR PREVIOUS REFRIGERATOR LOCATION TO BE ADJUSTED TOP COUNTERTOP HEIGHT.  
• NEW ELECTRICAL RECEPTACLE REQUIRED FOR NEW REFRIGERATOR LOCATION.  
• NEW ELECTRICAL RECEPTACLE REQUIRED FOR NEW WINE FRIDGE LOCATION.  
• EXISTING COUNTERTOP ELECTRICAL RECEPTACLE ALONG REFRIGERATOR WALL LOCATION TO BE ADJUSTED.  
• NEW SEMI-FLUSH LIGHT FIXTURE TO BE INSTALLED IN PANTRY.  
• NEW ELECTRICAL RECEPTACLE TO BE INSTALLED INSIDE COUNTERTOP CABINET IN PANTRY FOR NEW MICROWAVE LOCATION. SEE ELEVATION.  
• X2 NEW COUNTERTOP ELECTRICAL RECEPTACLES TO BE INSTALLED IN PANTRY. LOCATIONS NOTED ON PLAN.  
• NEW CEILING FAN WITH LIGHT TO BE INSTALLED IN EXISTING LOCATION.

**LAUNDRY/MUDROOM**  
• NEW SEMI-FLUSH LIGHT FIXTURE TO BE INSTALLED IN EXISTING LOCATION

**LIVING ROOM**  
• NEW CEILING FAN WITH LIGHT TO BE INSTALLED IN EXISTING LOCATION.

**STAIRWELL**  
• NEW CHANDELIER TO BE INSTALLED IN EXISTING LOCATION.



## PLUMBING NOTES:

**POWDER ROOM**  
• NEW SINK, FAUCET, AND TOILET TO BE INSTALLED.

**KITCHEN**  
• NEW UNDERMOUNT KITCHEN SINK AND SINK FAUCET TO BE INSTALLED IN EXISTING LOCATION.  
• EXISTING REFRIGERATOR TO BE REINSTALLED IN NEW LOCATION. NEW WATERLINE REQUIRED.  
• NEW DISHWASHER TO BE INSTALLED IN NEW LOCATION.

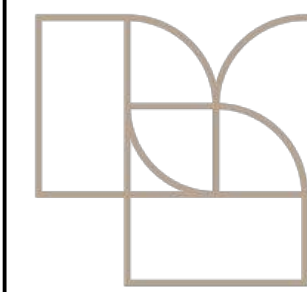
**LAUNDRY/MUDROOM**  
• NEW UNDERMOUNT SINK AND SINK FAUCET TO BE INSTALLED IN EXISTING LOCATION.  
• EXISTING WASHER AND DRYER TO BE KEPT AND REINSTALLED IN EXISTING LOCATIONS.

DRAWING TITLE:

ROUGH BUDGET DRAWINGS  
(MAIN FLOOR - PHASE 1)

CLIENT INFORMATION:

BRENT & STEPHANIE CROSS  
5639 CEDARCREEK DRIVE, CHILLIWACK BC



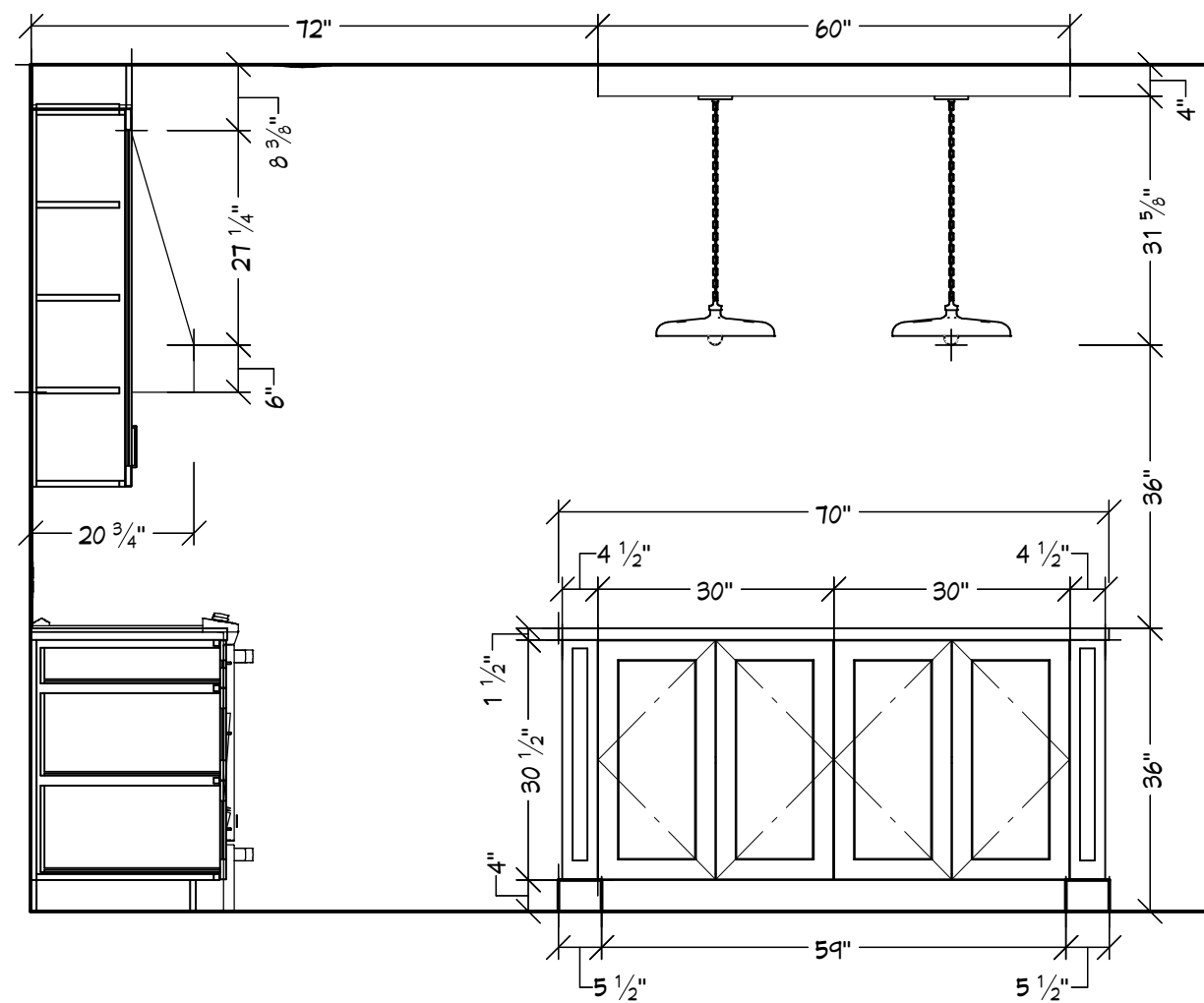
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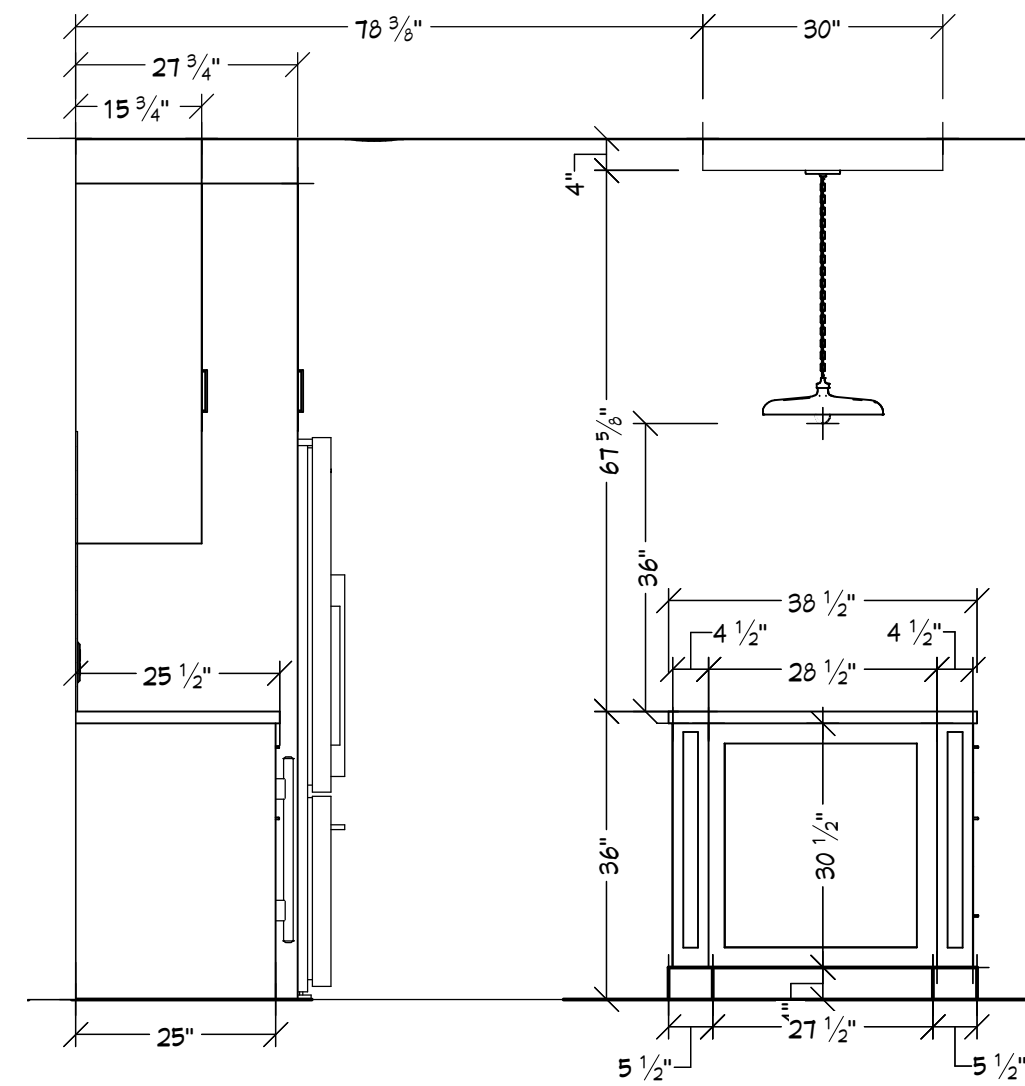
REVISION NUMBER

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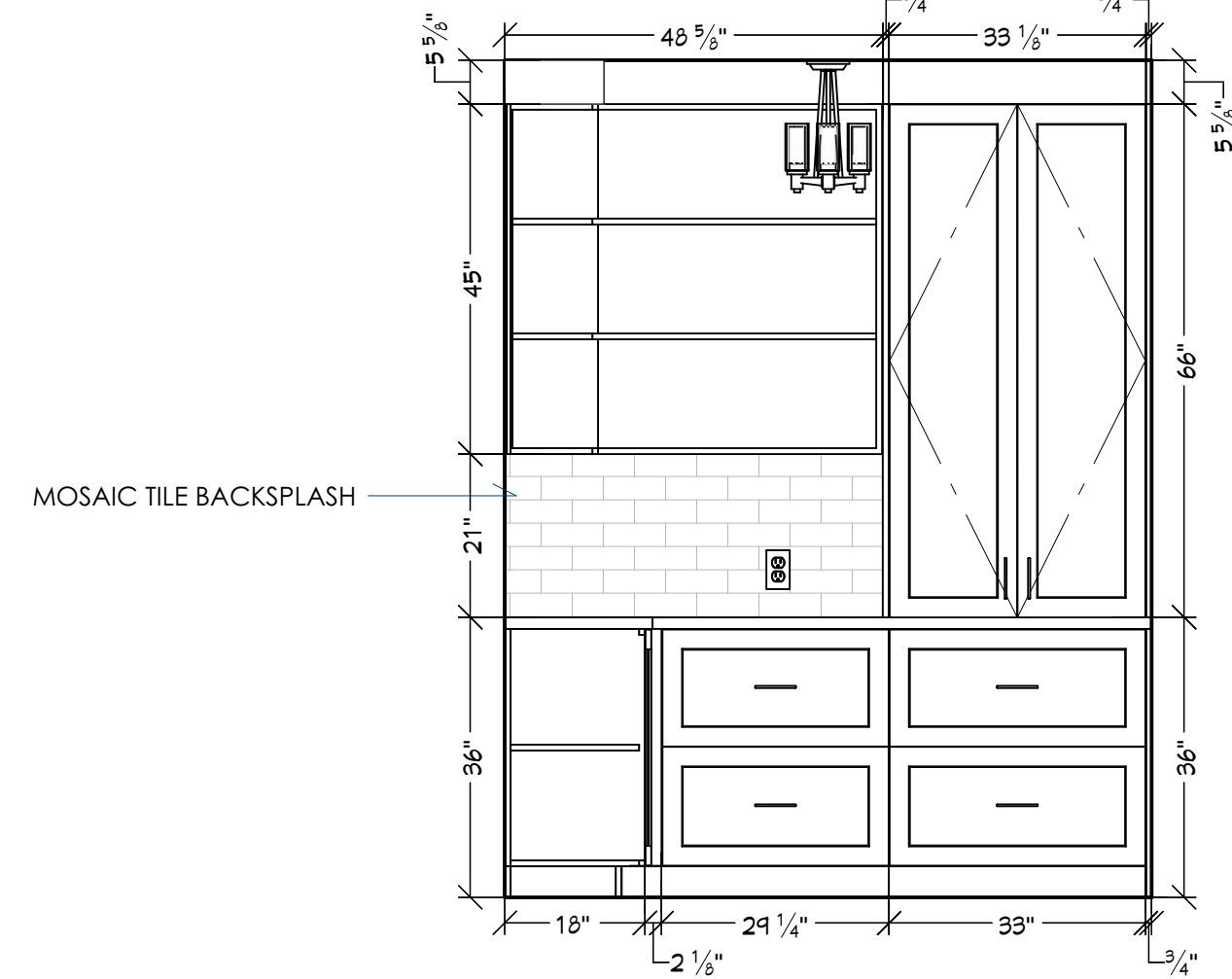




10  
ID 2 ELEVATION 6: KITCHEN ISLAND  
SCALE: 1/2" = 1' - 0"

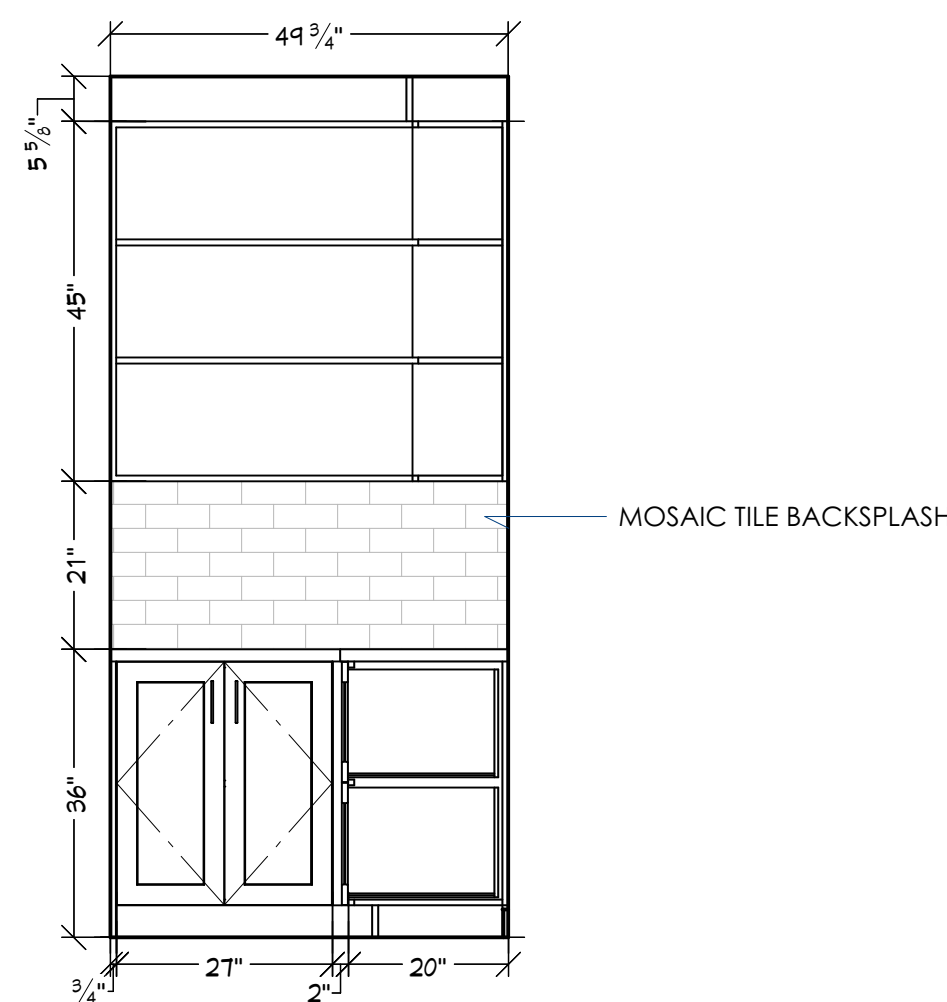


11  
ID 2 ELEVATION 7: KITCHEN ISLAND  
SCALE: 1/2" = 1' - 0"

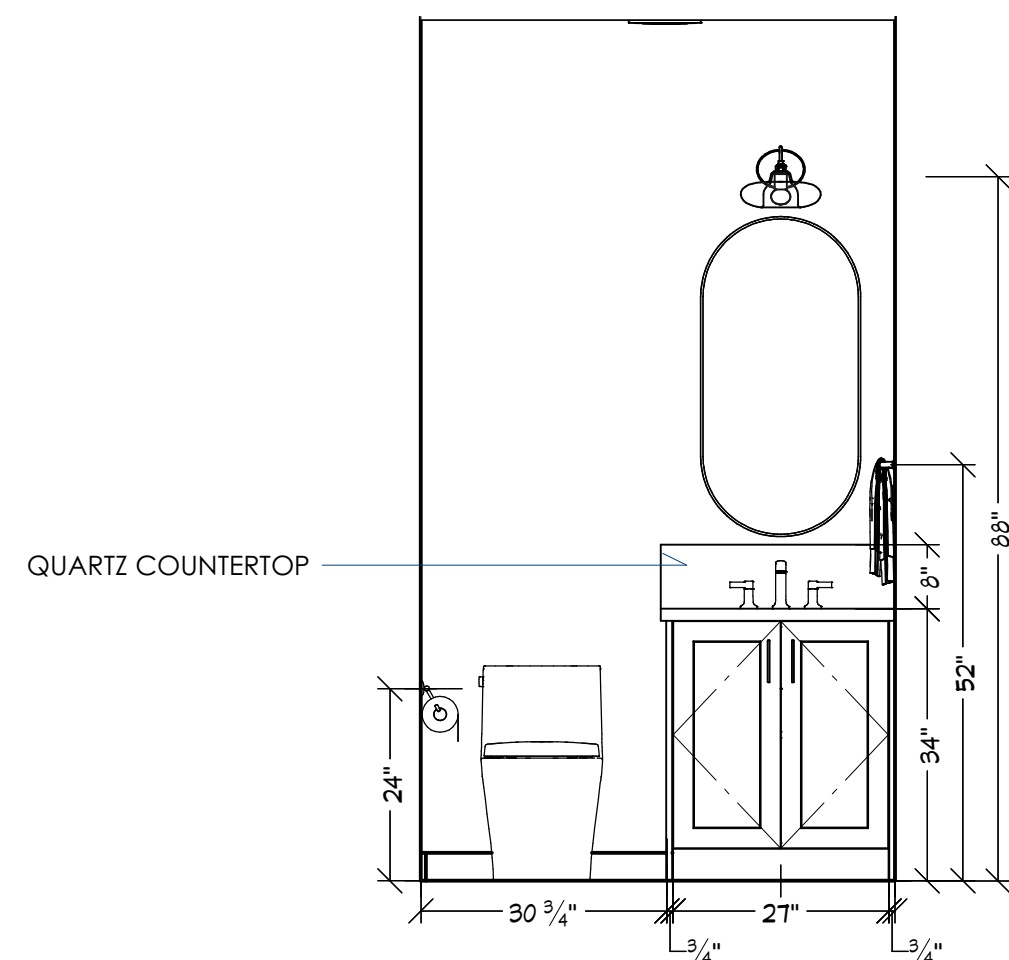


12  
ID 2 ELEVATION 8: PANTRY  
SCALE: 1/2" = 1' - 0"

- PANTRY CABINERY TO BE PAINTED TAN

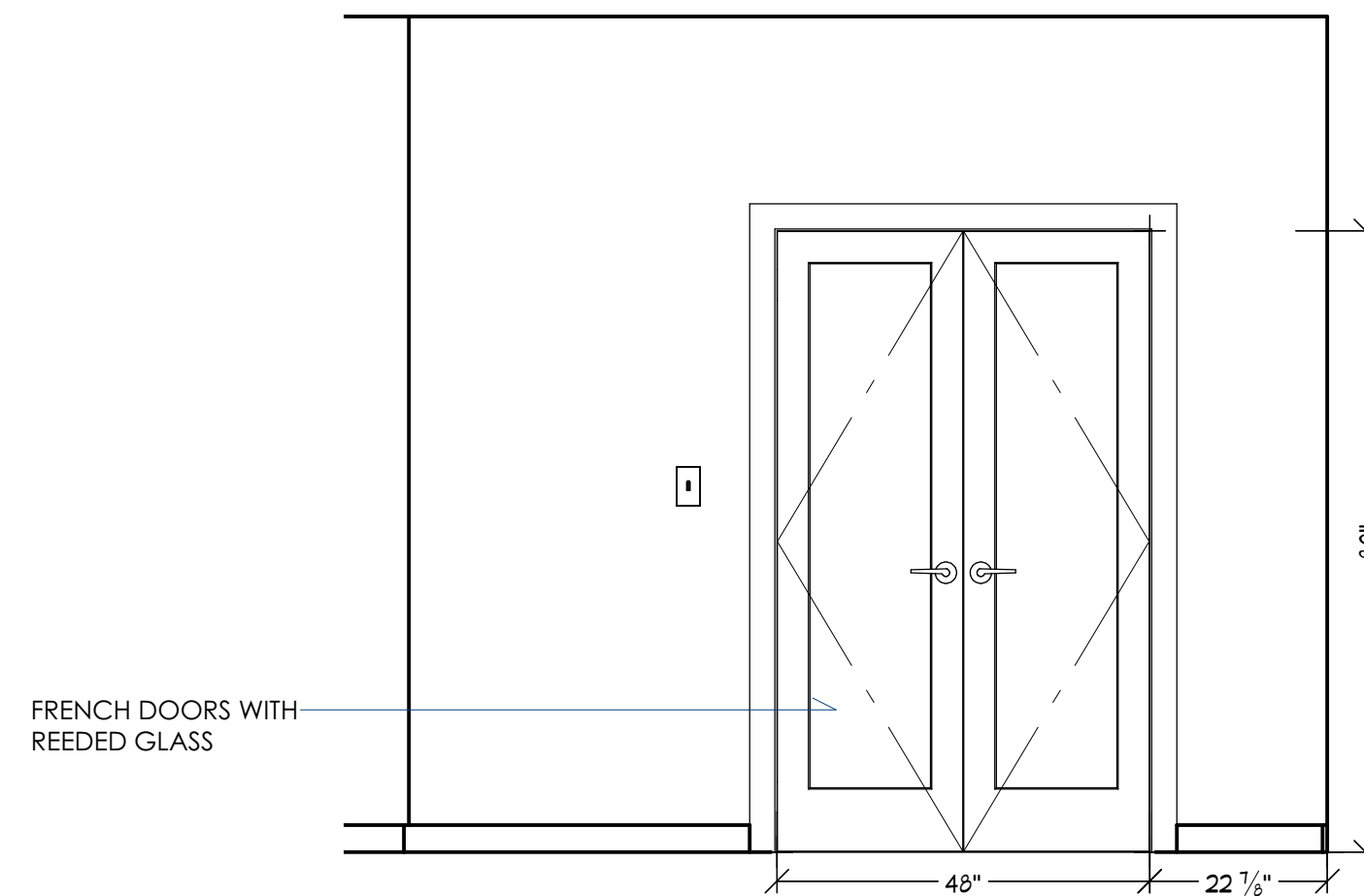


13  
ID 2 ELEVATION 9: PANTRY  
SCALE: 1/2" = 1' - 0"



14  
ID 2 ELEVATION 10: POWDER ROOM  
SCALE: 1/2" = 1' - 0"

- VANITY CABINERY TO BE STAINED, WHITE OAK



15  
ID 2 ELEVATION 11: OFFICE ENTRY  
SCALE: 1/2" = 1' - 0"

DRAWING TITLE:

ROUGH BUDGET DRAWINGS  
(MAIN FLOOR - PHASE 1)

CLIENT INFORMATION:

BRENT & STEPHANIE CROSS  
5639 CEDARCREEK DRIVE, CHILLIWACK BC

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DESIGN STUDIO

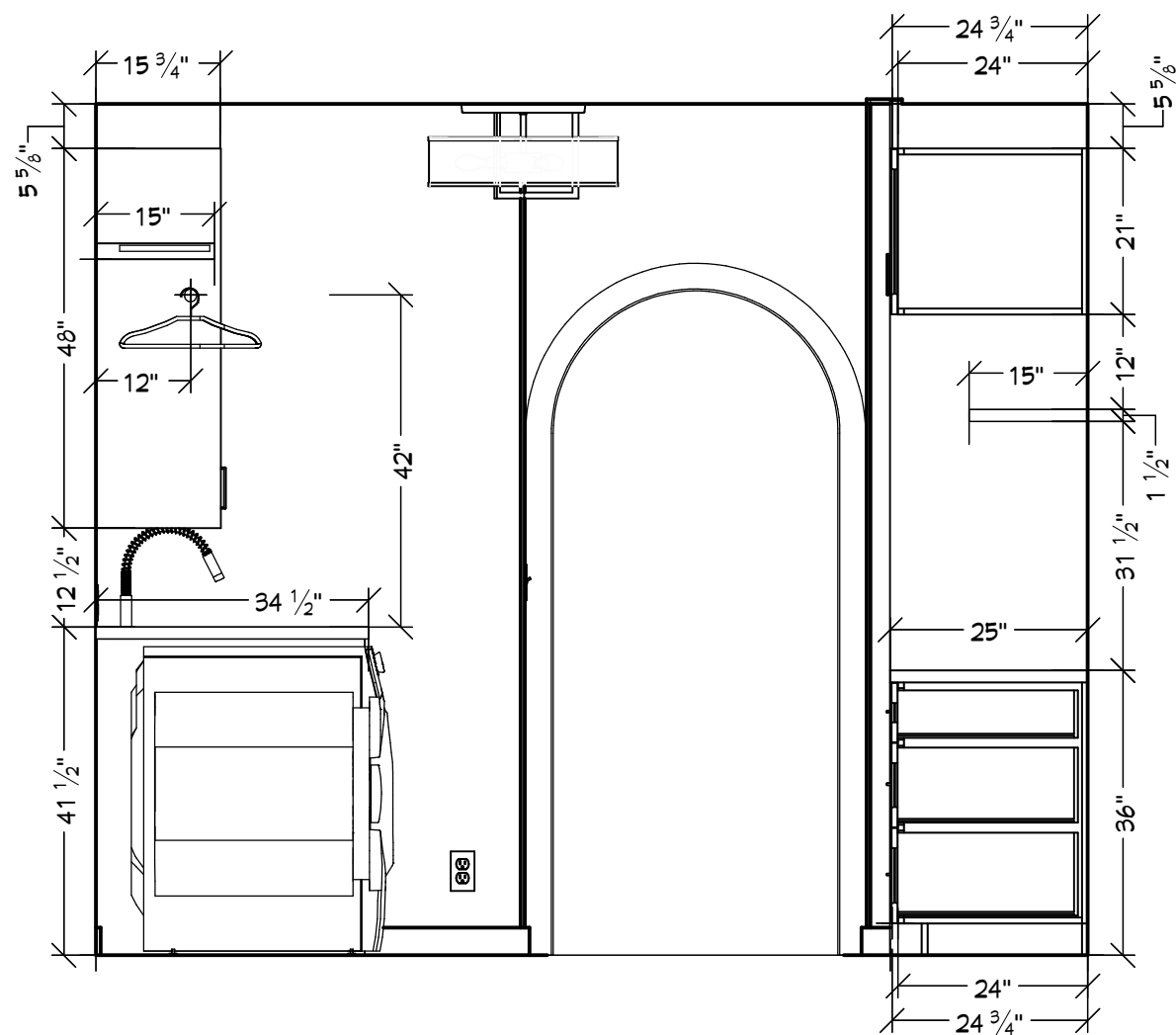
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REVISION NUMBER

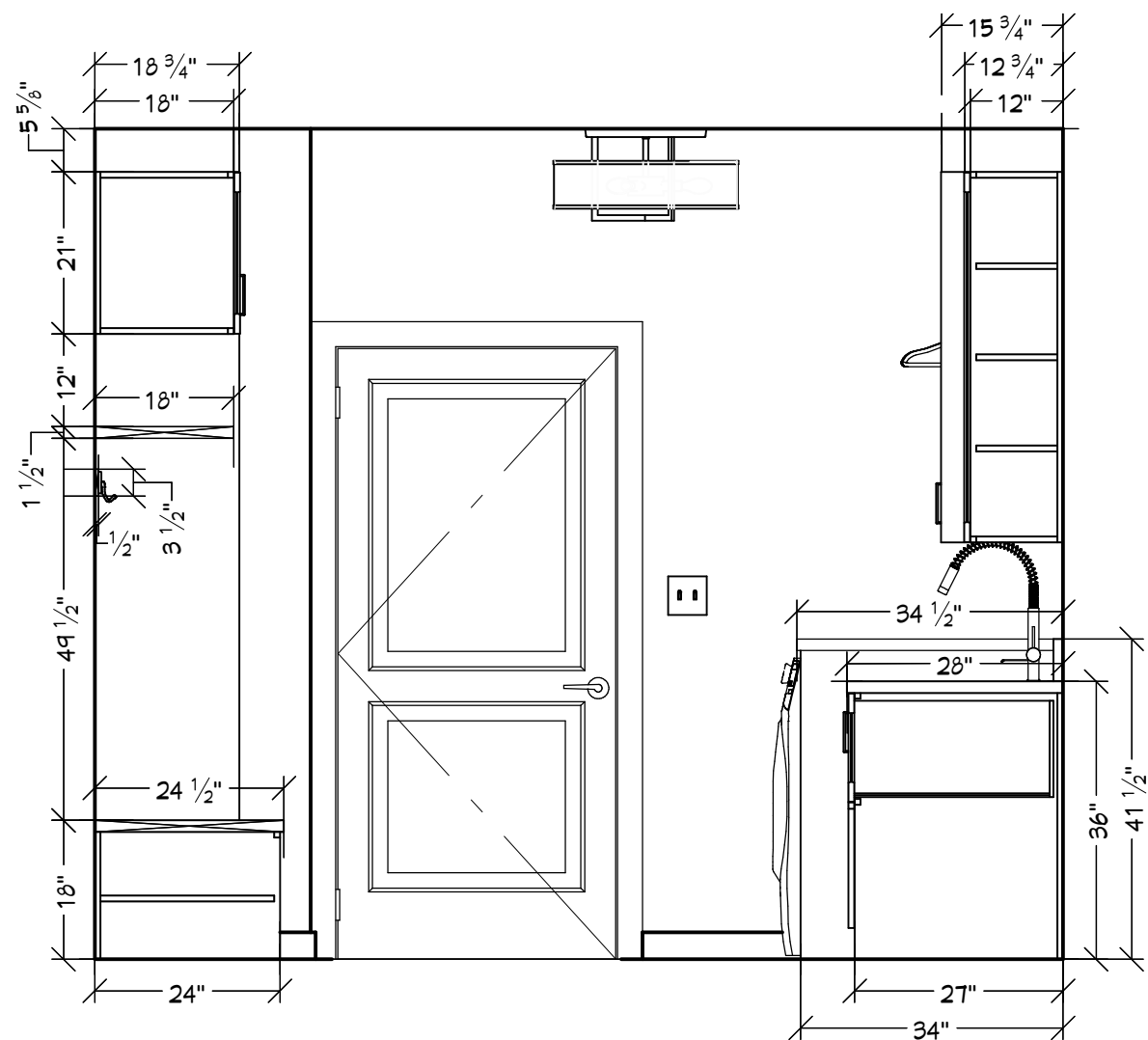
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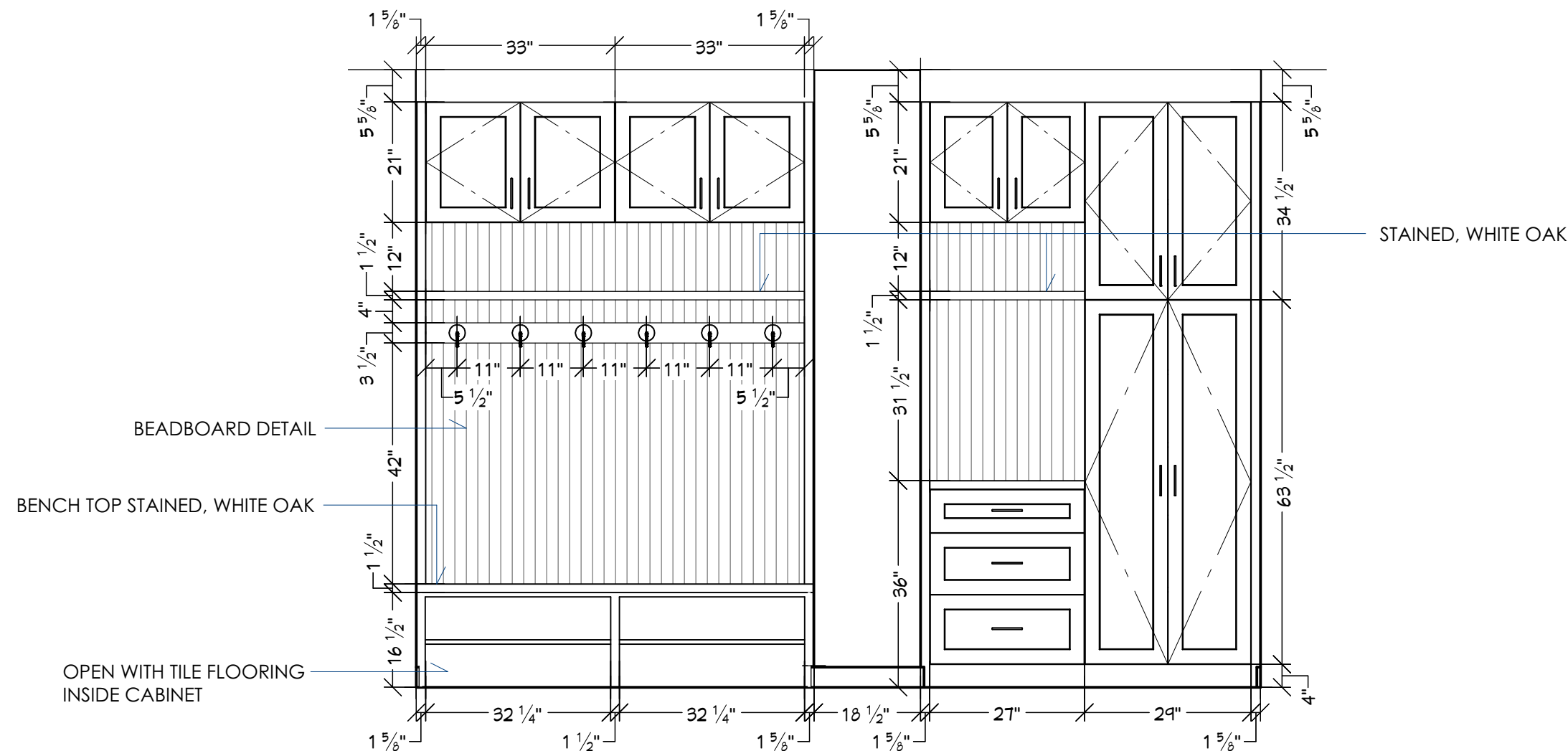


16  
ID 2 ELEVATION 12: LAUNDRY/MUDROOM.  
SCALE: 1/2" = 1'-0"

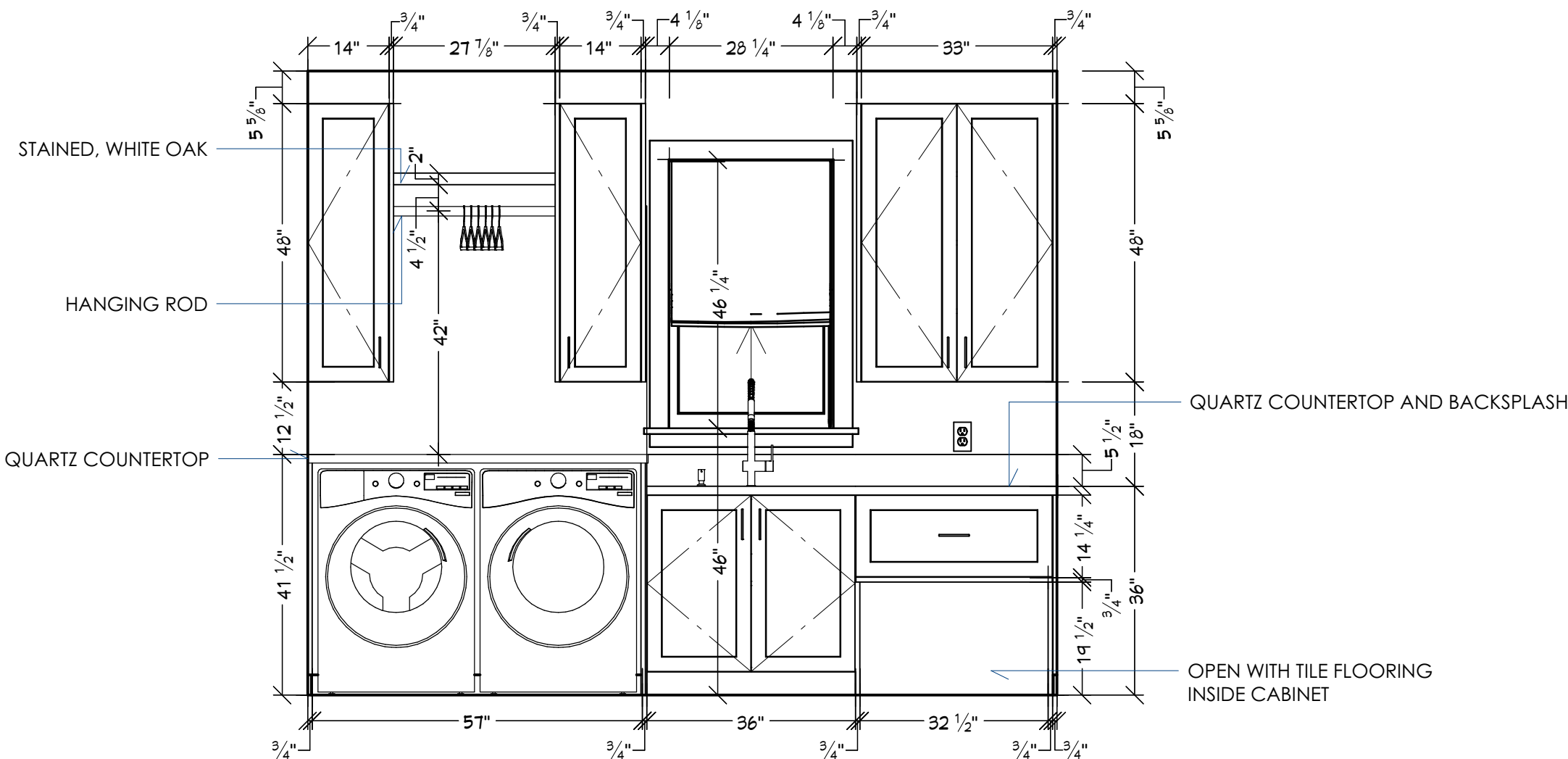
- LAUNDRY/MUDROOM CABINETRY TO BE PAINTED TAN
- BENCH TOP AND THREE SHELVES NOTED TO BE STAINED, WHITE OAK



18  
ID 2 ELEVATION 14: LAUNDRY/MUDROOM.  
SCALE: 1/2" = 1'-0"



17  
ID 2 ELEVATION 13: LAUNDRY/MUDROOM.  
SCALE: 1/2" = 1'-0"



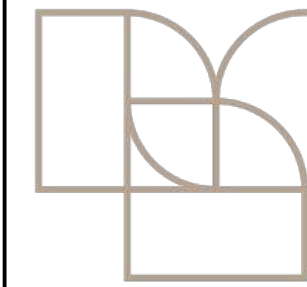
19  
ID 2 ELEVATION 11: LAUNDRY/MUDROOM.  
SCALE: 1/2" = 1'-0"

DRAWING TITLE:

ROUGH BUDGET DRAWINGS  
(MAIN FLOOR - PHASE 1)

CLIENT INFORMATION:

BRENT & STEPHANIE CROSS  
5639 CEDARCREEK DRIVE, CHILLIWACK BC



SHEET NUMBER

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REVISION NUMBER

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KITCHEN RENDER 1



KITCHEN RENDER 2



KITCHEN RENDER 3



KITCHEN RENDER 4



KITCHEN RENDER 5



KITCHEN RENDER 6

DRAWING TITLE:

ROUGH BUDGET DRAWINGS  
(MAIN FLOOR - PHASE 1)

CLIENT INFORMATION:

BRENT & STEPHANIE CROSS  
5639 CEDARCREEK DRIVE, CHILLIWACK BC



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REVISION NUMBER

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KITCHEN RENDER 7



PANTRY RENDER 8



PANTRY RENDER 9



LAUNDRY/MUDROOM RENDER 10



LAUNDRY/MUDROOM RENDER 11



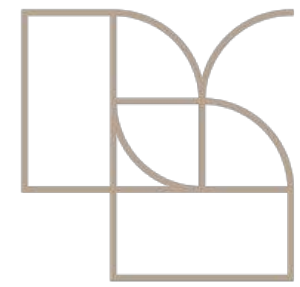
LAUNDRY/MUDROOM RENDER 12

DRAWING TITLE:

ROUGH BUDGET DRAWINGS  
(MAIN FLOOR - PHASE 1)

CLIENT INFORMATION:

BRENT & STEPHANIE CROSS  
5639 CEDARCREEK DRIVE, CHILLIWACK BC



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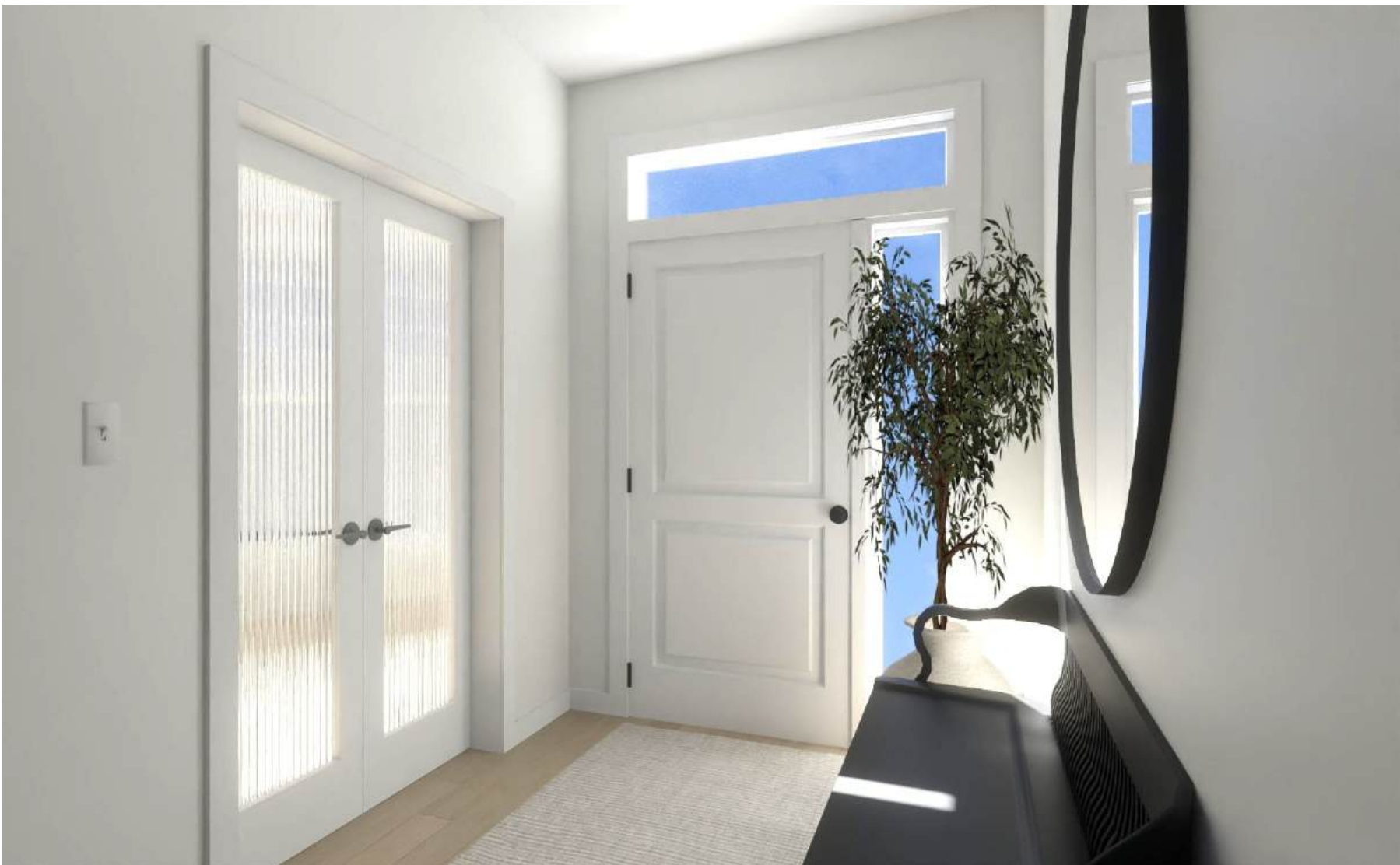
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POWDER ROOM.RENDER.14



LIVING ROOM.RENDER.15



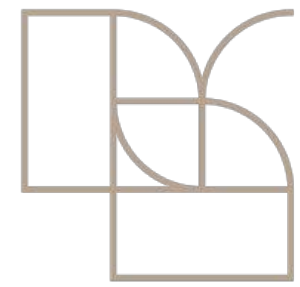
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DRAWING TITLE:

ROUGH BUDGET DRAWINGS  
(MAIN FLOOR - PHASE 1)

CLIENT INFORMATION:

BRENT & STEPHANIE CROSS  
5639 CEDARCREEK DRIVE, CHILLIWACK BC



SHEET NUMBER

ID-9

REVISION NUMBER

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